

**GREEN POINTS**

Points for Accelerated Building Permit:  
 Residential Addition  
 First 350 sq. ft. = 10.0  
 499 - 350 = 149 Each additional 100 sq. ft.: 1.5 x 9 = 13.5  
 Total Points required = 23.5  
 Total Green Points provided = 53

ITEM	POINTS
<b>A. INTEGRATED DESIGN FEATURES</b>	
5. b. U.S. Green Building Council Member	1
<b>HOME SIZE CHART</b>	
Number of Bedrooms (2-1,357 sq. ft.)	6
<b>B. SITE</b>	
1. Recycle 75% Job site & demolition waste	2
<b>C. FOUNDATION</b>	
1. Incorporate 35% recycled flyash in new concrete	4
8. Use non toxic form release agent on concrete forms	1
<b>D. STRUCTURAL FRAME</b>	
6. Use OSB (sub-floor 1, roof sheathing 1)	1
<b>E. EXTERIOR FINISH</b>	
3. Install house wrap under siding	1
5. Use Low/No VOC Exterior Paint.	2
<b>F. PLUMBING</b>	
1. Insulate all hot water pipes.	2
3. Install dual flush/high efficiency toilets.	1
<b>G. ELECTRICAL</b>	
2. Dimmer switch light controls.	3
<b>I. INSULATION</b>	
2. Install recycled-content, formaldehyde-free fiberglass insulation.	1
<b>J. WINDOWS</b>	
1. a. double-paned	1
c. Low-emissivity (low-E)	2
<b>L. RENEWABLE ENERGY AND ROOFING</b>	
4. Install photovoltaic panels.	14
<b>N. INDOOR AIR QUALITY &amp; FINISHES</b>	
2. Use low/no VOC paint	1
<b>O. FLOORING</b>	
1. Select FSC certified wood flooring.	6
<b>P. OTHER</b>	
1. Incorporate listing of green features into cover of blueprints.	1
<b>TOTAL</b>	<b>52</b>

= SYMBOL USED TO DESIGNATE GREEN POINT LOCATIONS ON PLANS

**CITY OF SANTA CRUZ GREEN POINTS CHECK LIST**

**FIRE DEPARTMENT NOTES**

- THESE BUILDING PLANS ARE IN COMPLIANCE WITH THE CALIFORNIA BUILDING AND FIRE CODES (2007 AND DISTRICT AMENDMENTS) 2015
- SMOKE DETECTORS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS AND APPROVED BY THE CENTRAL FIRE PROTECTION DISTRICT.  
 A) ONE SMOKE DETECTOR ADJACENT TO EACH SLEEPING AREA (HALL, FOYER, BALCONY, OR ETC).  
 B) ONE SMOKE DETECTOR IN EACH SLEEPING ROOM.  
 C) ONE SMOKE DETECTOR AT THE TOP OF STAIRWAY OF 24" RISE OR GREATER AND IN AN ACCESSIBLE LOCATION BY A LADDER.  
 D) THERE MUST BE AT LEAST ONE SMOKE DETECTOR ON EACH FLOOR LEVEL REGARDLESS OF AREA USAGE.
- STREET ADDRESS NUMBERS WILL BE POSTED AND MAINTAINED PLAINLY VISIBLE FROM THE STREET. NUMBERS SHALL BE 4" MIN. HIGH AND OF A CONTRASTING COLOR WITH THEIR BACKGROUND.
- ROOF COVERING SHALL BE NOT LESS THAN CLASS "B" RATED.
- AN APPROVED SPARK ARRESTOR SHALL BE INSTALLED ON TOP OF CHIMNEYS. MESH SHALL NOT EXCEED 1/2".
- THE JOB COPIES OF THE BUILDING PLANS AND PERMITS MUST BE ON SITE DURING INSPECTIONS.

**PROJECT DESCRIPTION:**

THIS PROPOSAL IS FOR AN ADDITION TO A F. EXISTING SINGLE FAMILY DWELLING. REBUILD EXISTING GARAGE, (DEMOLISH ENTIRE STRUCTURE INCLUDING THE FOUNDATION). NEW GARAGE TO BE UNCONDITIONED SPACE.

**SHEET INDEX**

- SITE PLAN, EXISTING EXTERIOR ELEVATIONS & DATA
- PROPOSED PLAN & REFLECTED CEILING PLAN
- PROPOSED FOUNDATION PLAN & ROOF PLAN
- PROPOSED EXTERIOR ELEVATIONS
- BUILDING SECTIONS & DETAILS
- ELECTRICAL PLAN
- GARAGE PLANS, SECTION & ELEVATIONS
- GARAGE FOUNDATION, FRAMING PLANS & ELEVATIONS
- GARAGE CONSTRUCTION DETAILS

EC-1 ENERGY COMPLIANCE FORMS

**PROJECT DATA:**

A.P.N.:	010-141-14
OCCUPANCY GROUP	R-3 & U
TYPE OF CONSTRUCTION:	V-B
LOT SIZE:	5,402 SQ. FT.
ADDRESS:	344 PINE STREET, SANTA CRUZ, CA
OWNER:	NICHOLAS & LORI R. STOLL
EXISTING SFD:	858 SQ. FT.
EXISTING GARAGE:	387 SQ. FT.
PROPOSED GARAGE EXTENSIONS:	129 SQ. FT.
PROPOSED ADDITIONS:	499 SQ. FT.
EXISTING LOT COVERAGE:	23%
PROPOSED LOT COVERAGE	35%

**EXTERIOR MATERIALS**

SIDING: STUCCO  
 ROOFING: ARCHITECTURAL GRADE COMPOSITION SHINGLES  
 SANTA CRUZ

**APPROVED PLAN JOB COPY**

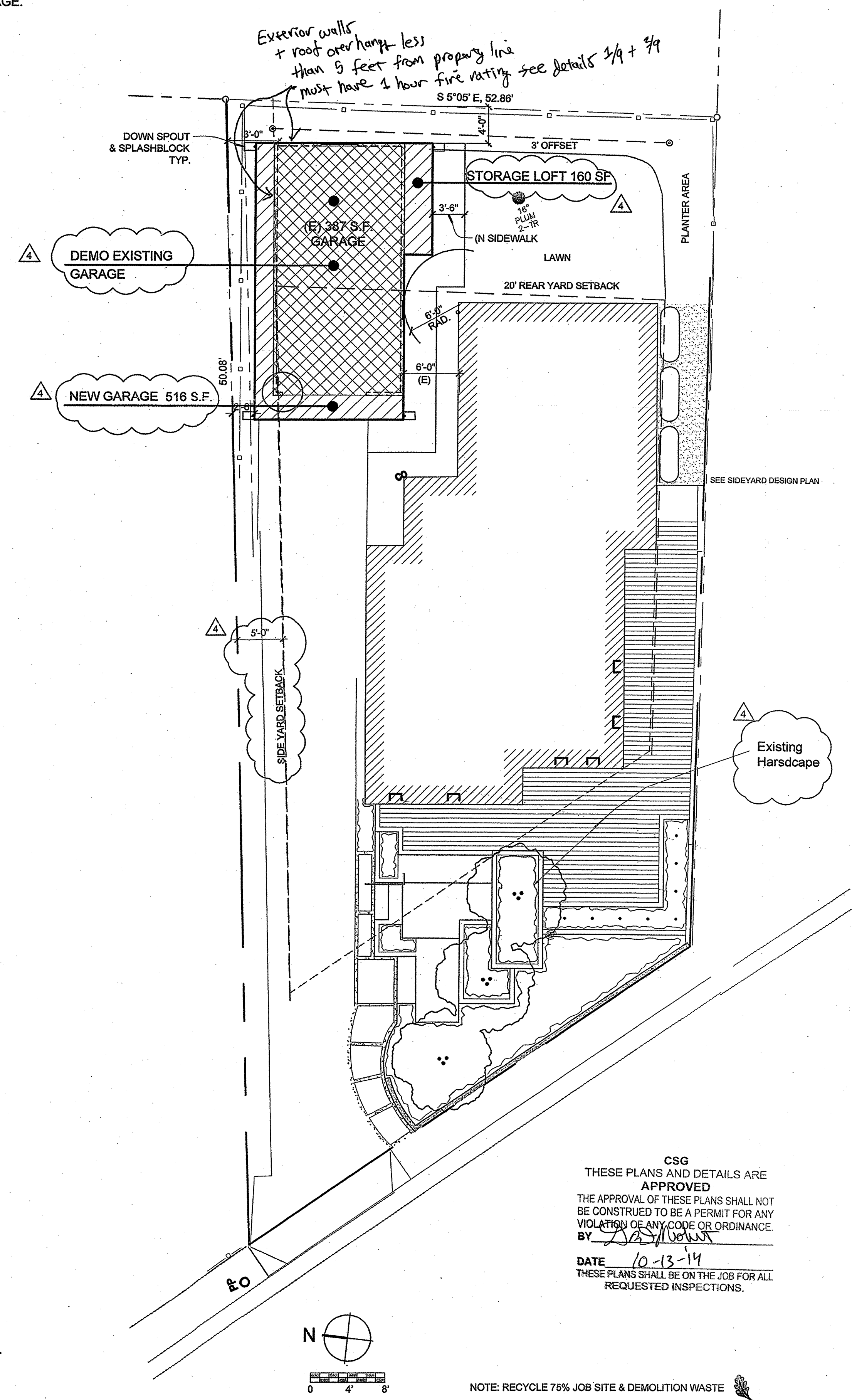
Permit Number: 184-0022  
 Issue Date: 12-3-14 By: M.H.

**CODE COMPLIANCE:**

THE FOLLOWING CODES ARE IN EFFECT:  
 2013 CALIFORNIA BUILDING CODE + C.A. Residential Code  
 2013 CALIFORNIA PLUMBING CODE  
 2013 CALIFORNIA MECHANICAL CODE  
 2013 ELECTRICAL  
 2013 CALIFORNIA ENERGY COMPLIANCE  
 SANTA CRUZ CITY ORDINANCES



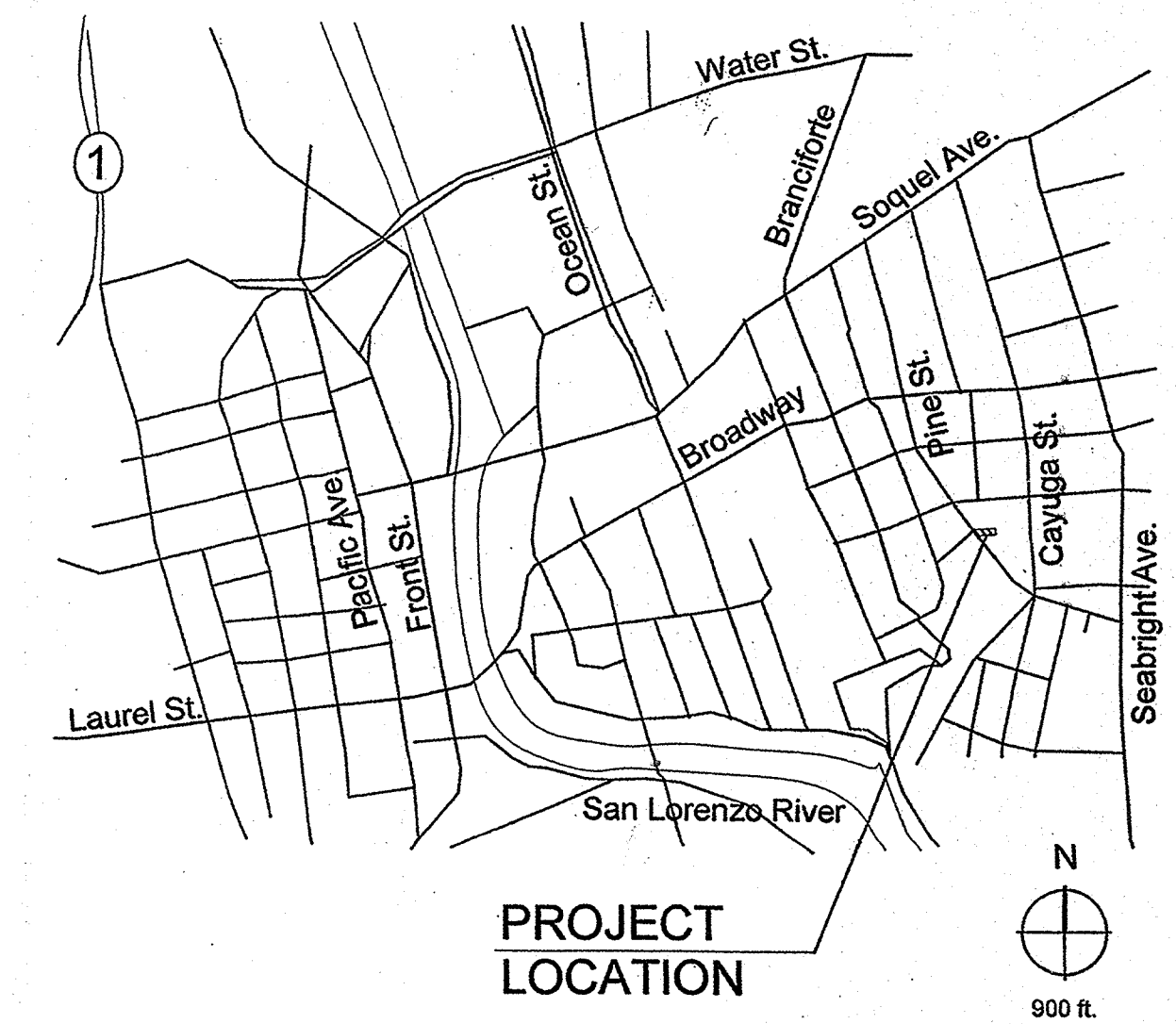
**EXISTING ELEVATIONS**  
1/8" = 1'-0"



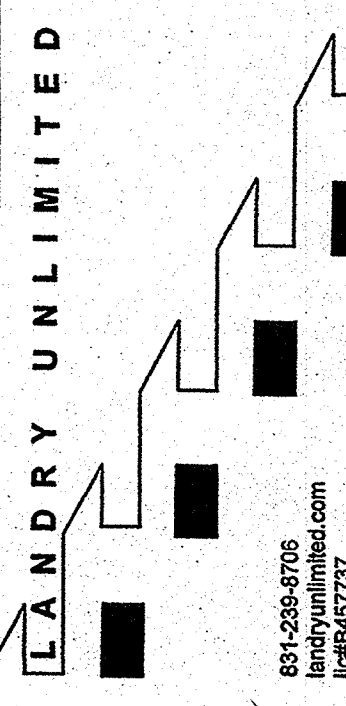
CSG  
 THESE PLANS AND DETAILS ARE APPROVED  
 THE APPROVAL OF THESE PLANS SHALL NOT BE CONSTRUED TO BE A PERMIT FOR ANY VIOLATION OF ANY CODE OR ORDINANCE.  
 BY: [Signature]  
 DATE: 10-13-14  
 THESE PLANS SHALL BE ON THE JOB FOR ALL REQUESTED INSPECTIONS.

NOTE: RECYCLE 75% JOB SITE & DEMOLITION WASTE

**SITE PLAN**  
1/8" = 1'-0"



**PROJECT LOCATION**  
VICINITY MAP  
NO SCALE



**REVISIONS**

SCC 01/18/11
CLIENT REV. 03/25/11
C.O. 04/01/14
CSG 09/25/14

**STOLL RESIDENTIAL ADDITION**

344 PINE STREET  
 SANTA CRUZ, CA 95062  
 APN: 010 - 141 - 14

DATE: 12/09/10

**1**



LANDRY UNLIMITED  
 831-298-4705  
 landryunlimited.com  
 lic#B46737

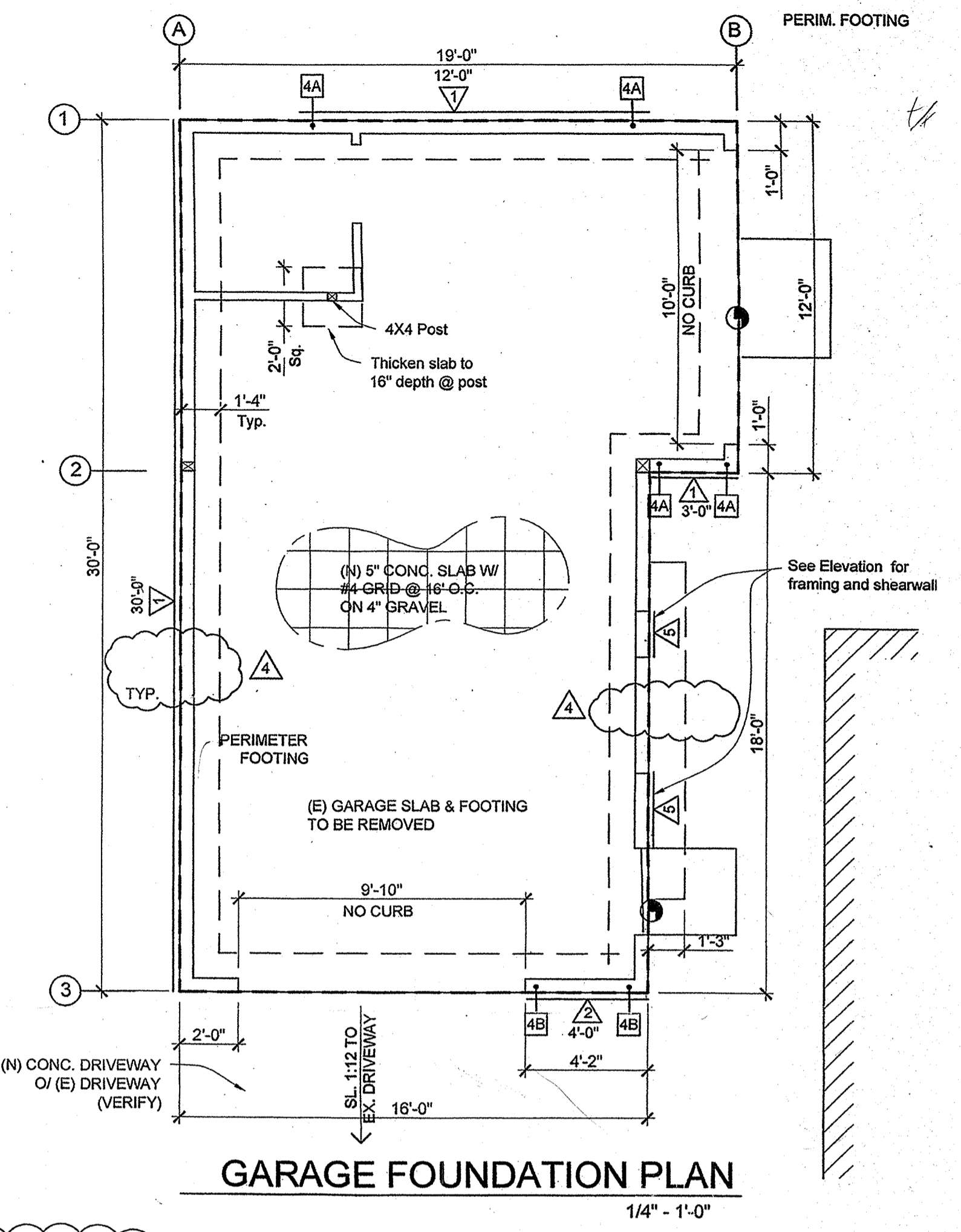
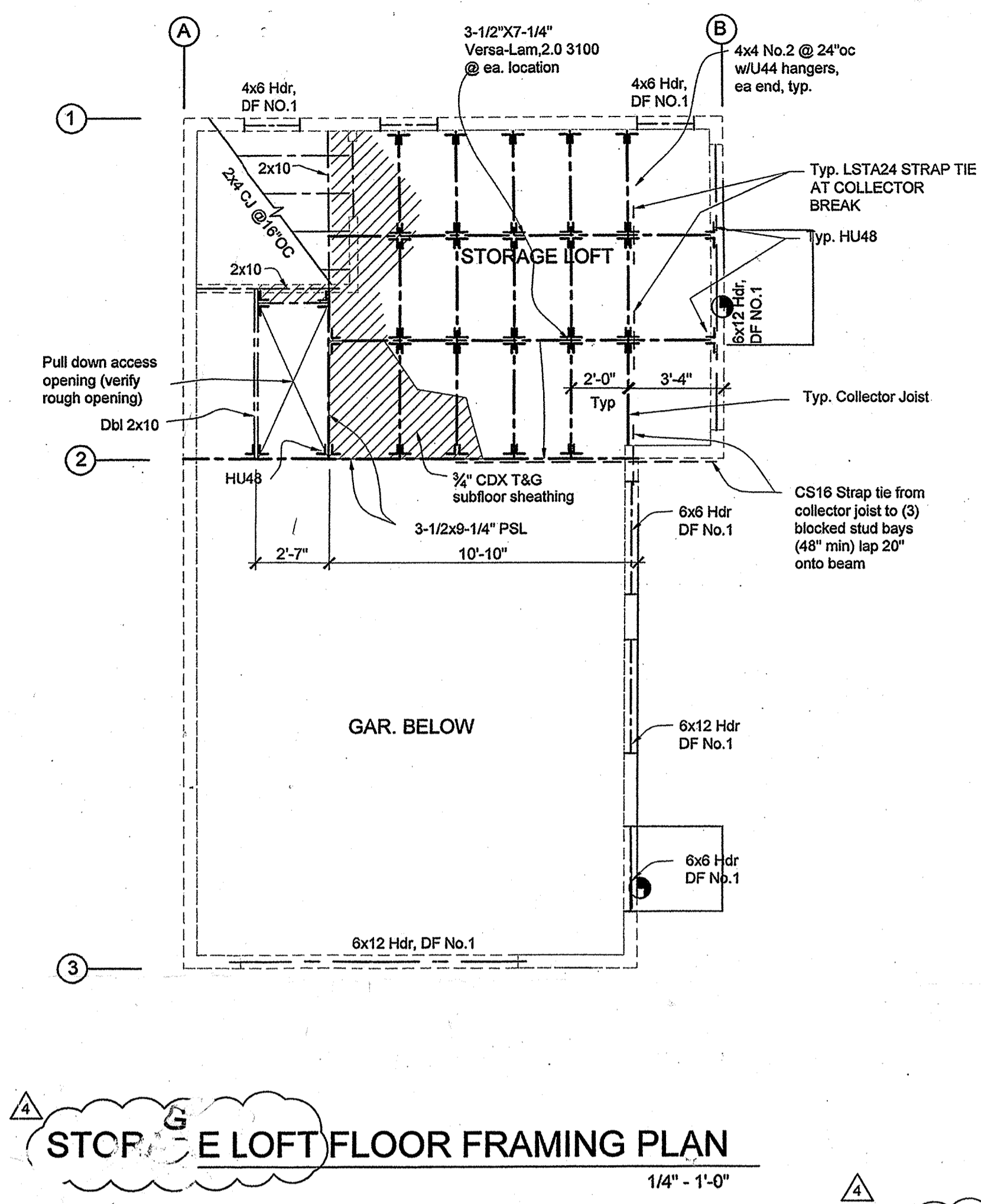
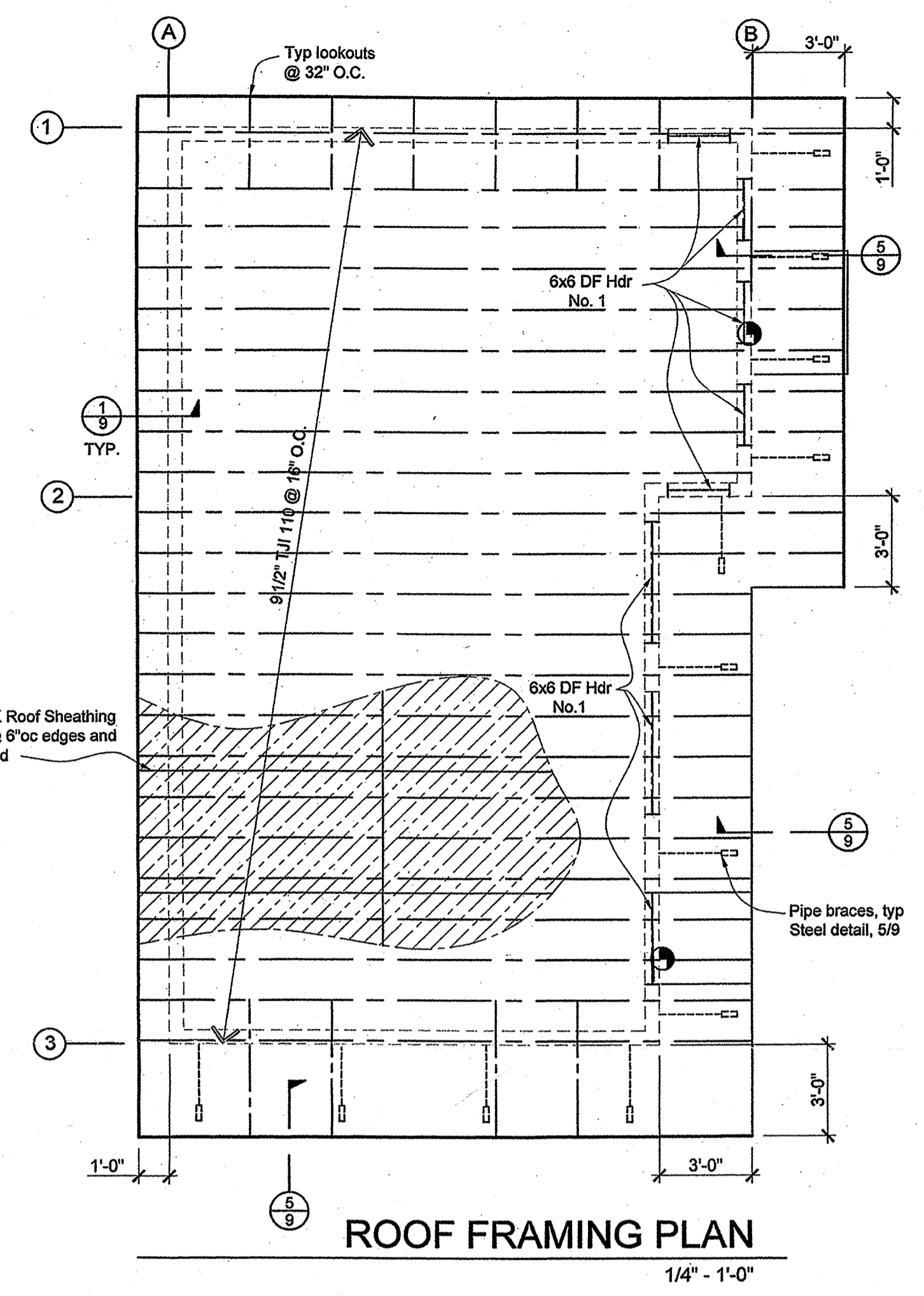
REVISIONS  
 4 CSG 08/25/14

New Garage

STOLL RESIDENTIAL ADDITION  
 344 PINE STREET  
 SANTA CRUZ, CA 95062  
 APN: 010 - 141 - 14

DATE: 8/22/14

7



**Garage Fenestration Schedule**

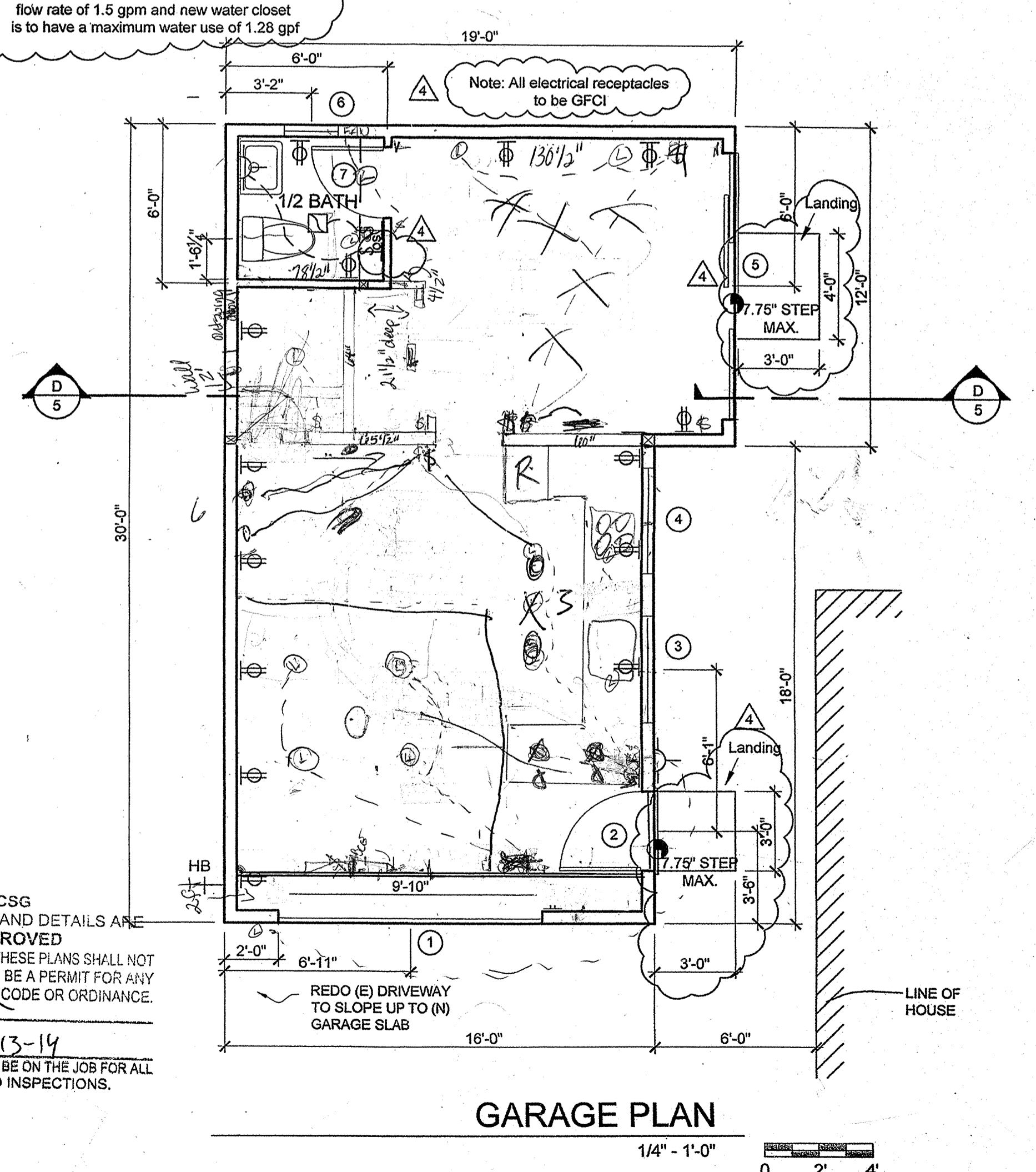
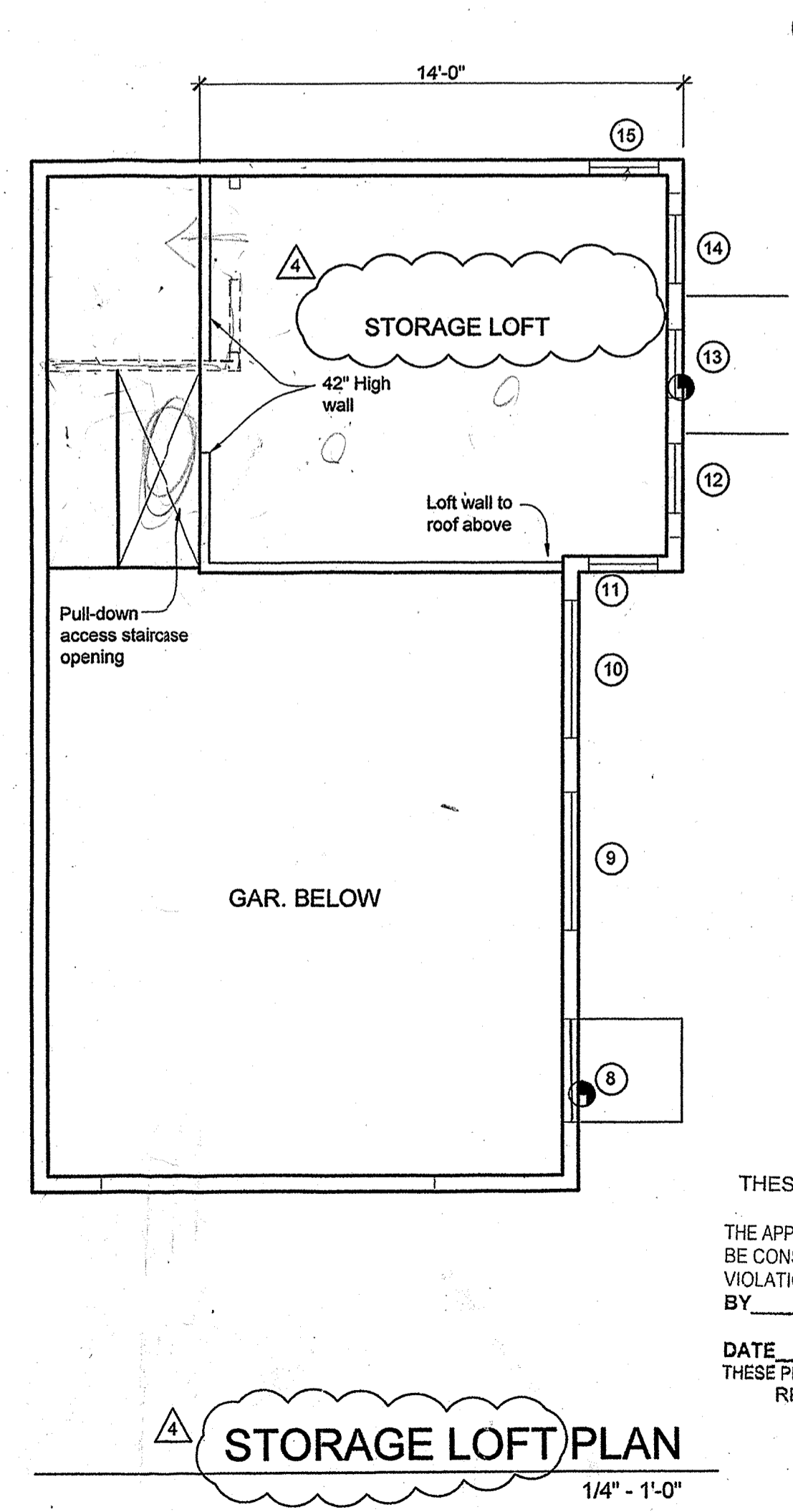
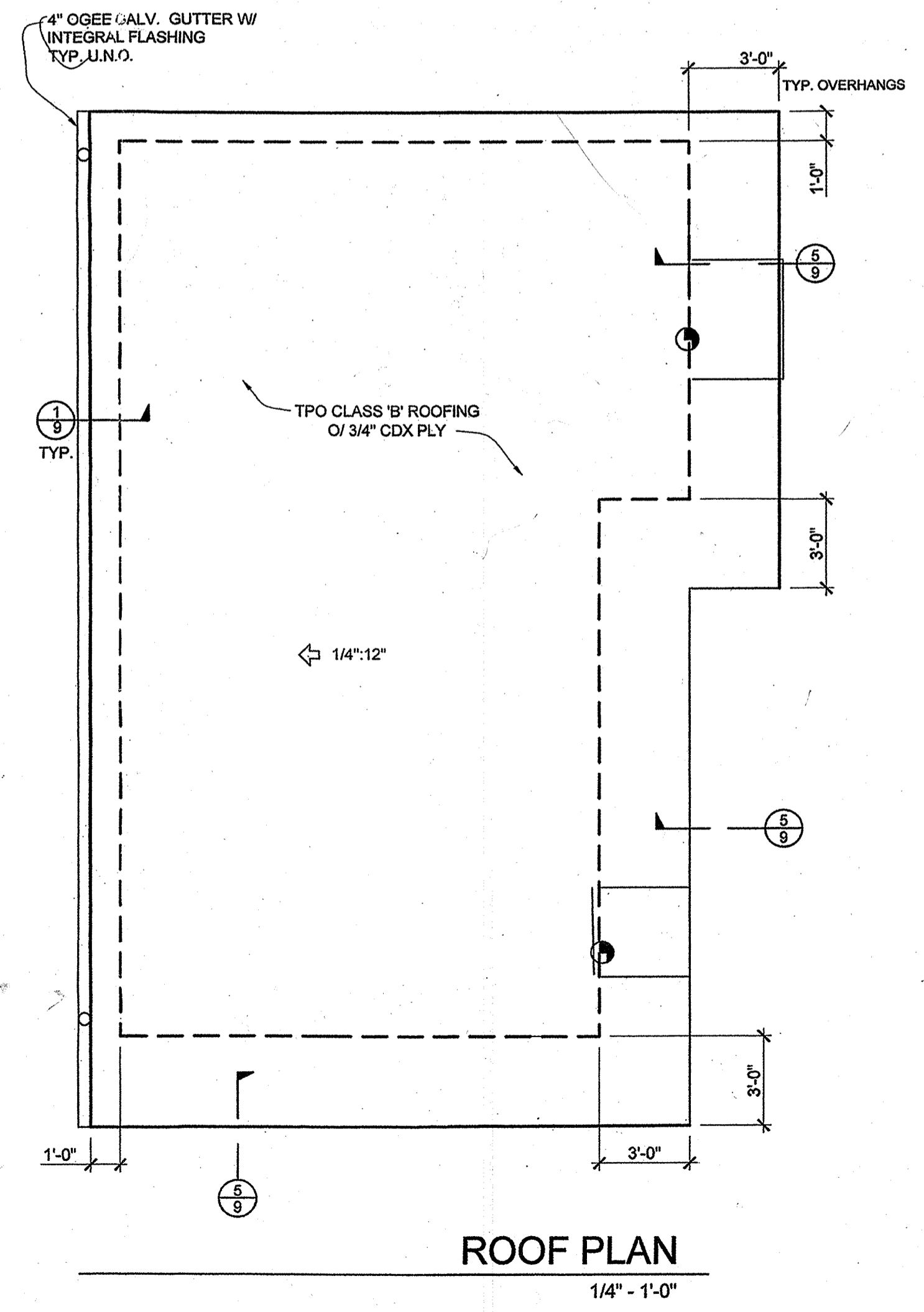
#	What	Size	Note
1	Door	10-0x10-0"	Garage Roll-up
2	Door	3-0x6-8	Entry
3	Window	3-4-0x4-0	Slider
4	Window	3-4-0x4-0	Slider
5	Door	10-0x6-8	3 Pnl (Fix/Slide/Fix) Temp
6	Window	2-0x2-0	Sgl hung (2)
7	Door	2-8x6-8	Privacy pocket (2)
8	Window	3-0x3-0	Slider
9	Window	4-0x3-0	Slider
10	Window	4-0x3-0	Slider
11	Window	3-0x2-0	Awning
12	Window	2-0x2-0	Awning
13	Window	2-0x2-0	Awning
14	Window	2-0x2-0	Awning
15	Window	2-0x2-0	Awning Sgl hung

**Electrical Fixtures Legend:**

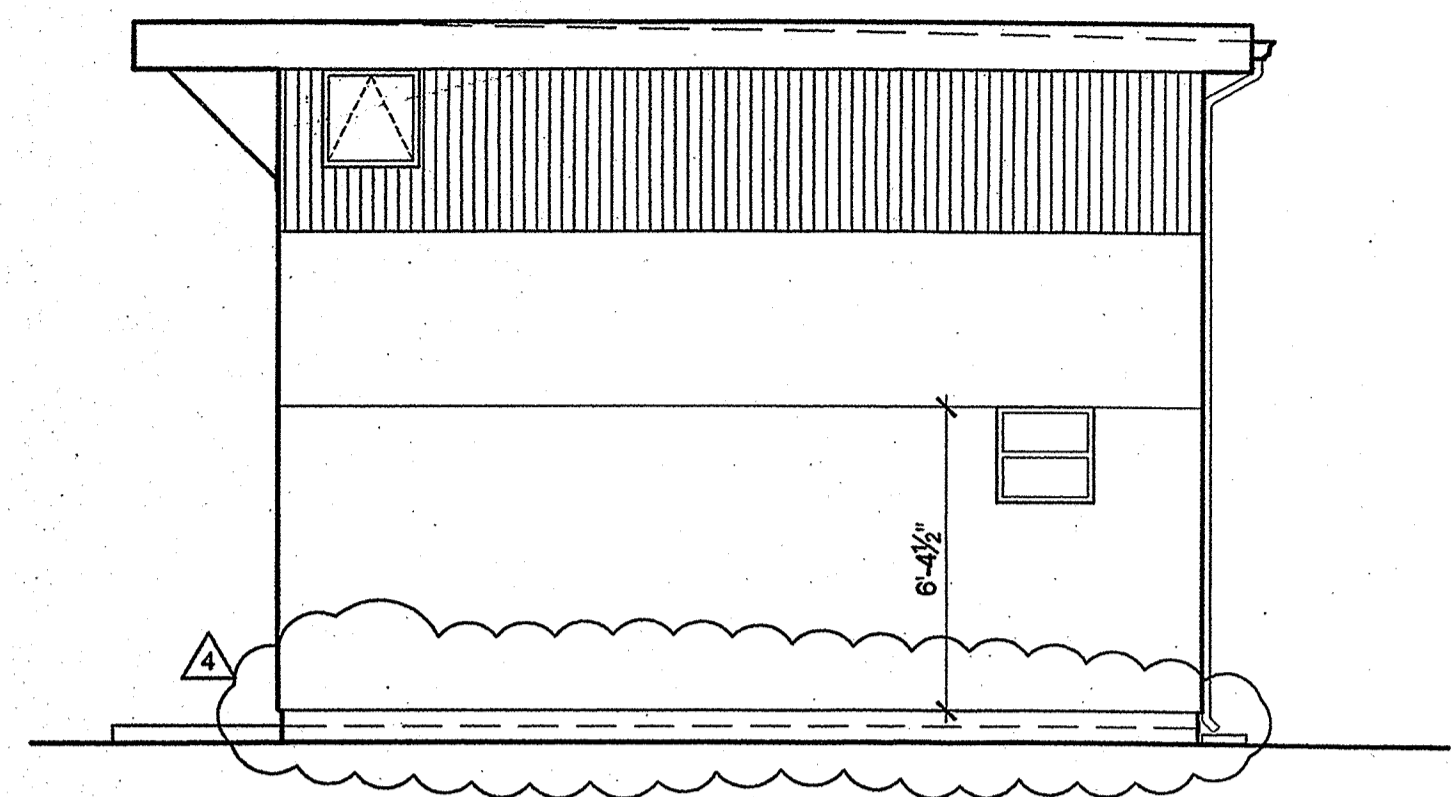
- SWITCH
- 3-WAY SWITCH
- DIMMER SWITCH
- MD MOTION DETECTOR
- OS OCCUPANCY SENSOR ON SWITCH
- GFCI DUPLEX OUTLET W/ GROUND FAULT
- DUPLEX OUTLET (HT. ABOVE FIN. FLR.)
- 220V OUTLET
- EXHAUST FAN
- COMBO-SMOKE & CARBON MONOXIDE DETECTOR
- WALL LIGHT (SCONCE)
- LED RECESSED CAN, CEILING LIGHT

**Electrical notes:**

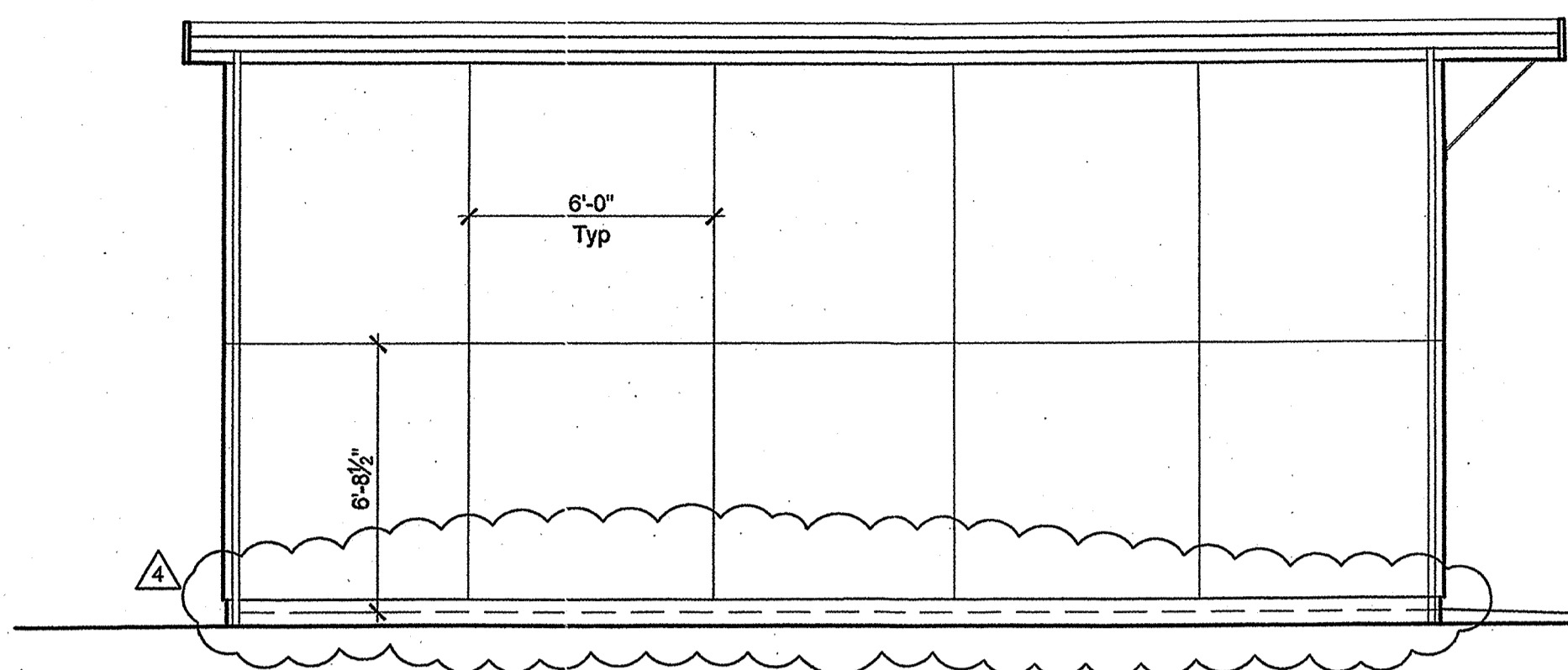
**TITLE 24 LIGHTING MEASURES:**  
 ALL OF LIGHTING WATTAGE FOR THE KITCHEN SHALL BE PROVIDED BY HIGH-EFFICACY FIXTURES.  
 EXTERIOR LIGHTING SHALL BE HIGH-EFFICACY OR HAVE MOTION DETECTOR AND PHOTOCONTROL. ALL LIGHTING SHALL COMPLY WITH THE REQUIREMENTS OF CURRENT CALIFORNIA TITLE 24 CODE.  
 All electric receptacles in the bathroom will be GFCI protected.  
 All new lighting in the bathroom and the kitchen will be high efficacy.  
 All appliances in the kitchen will be on 20A dedicated circuits.  
 There will be 2 separate 20A circuits in the kitchen and they will be GFCI protected.  
 All branch circuits that supply 120 volt, single phase, 15 and 20 ampere outlets installed in dwelling unit bedrooms, family rooms, dining rooms, living rooms, parlors, libraries, dens, sunrooms, recreation rooms, closet, hallways, or similar rooms or areas shall be arc-fault circuit interrupter (AFCI) protected per CEC 210.12(B).  
 125-volt, 15 and 20 ampere receptacle outlets shall be listed tamper resistant receptacles per CEC 406.11



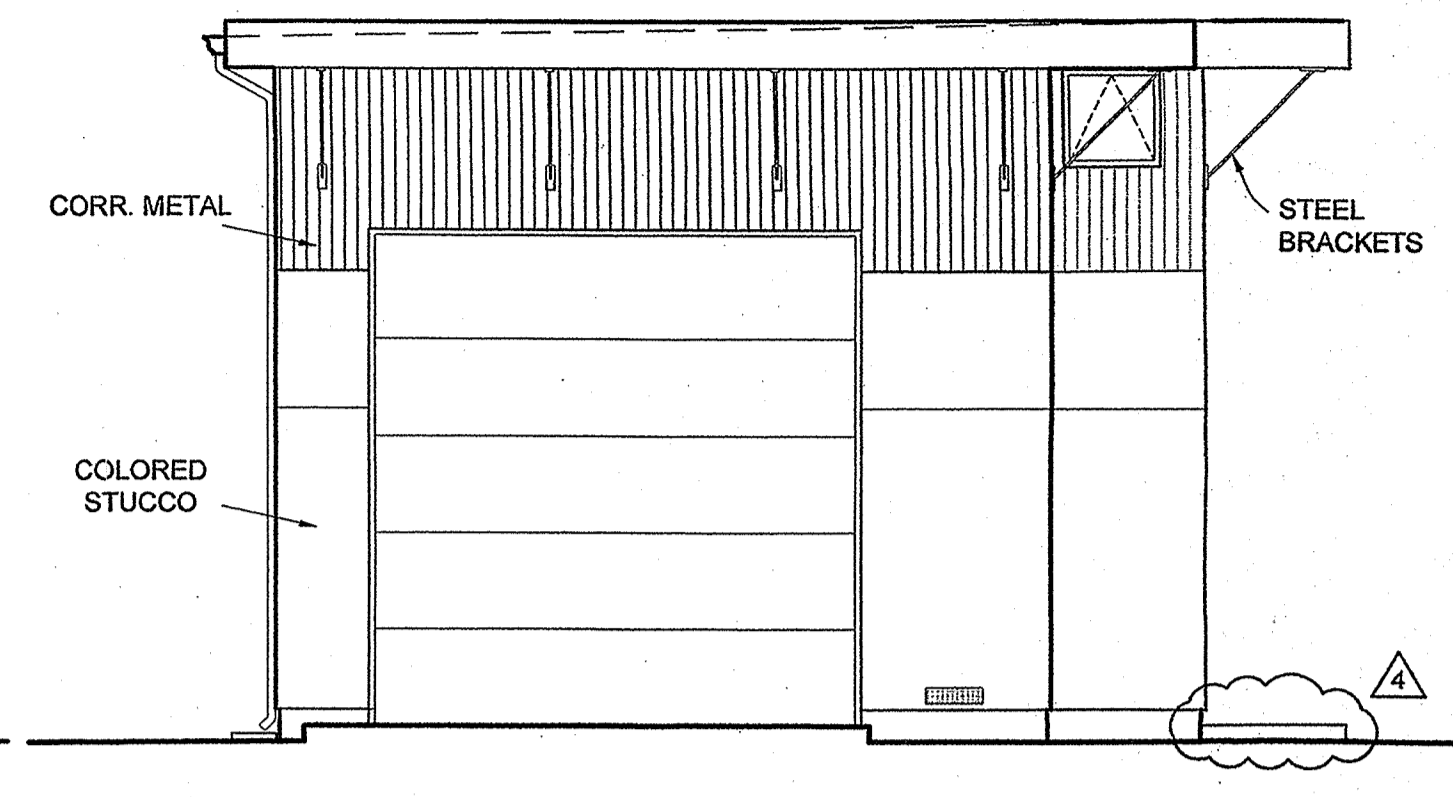
CSG  
 THESE PLANS AND DETAILS ARE APPROVED  
 THE APPROVAL OF THESE PLANS SHALL NOT BE CONSTRUED TO BE A PERMIT FOR ANY VIOLATION OF ANY CODE OR ORDINANCE.  
 BY: [Signature]  
 DATE: 10-13-14  
 THESE PLANS SHALL BE ON THE JOB FOR ALL REQUESTED INSPECTIONS.



EAST ELEVATION  
1/4" - 1'-0"



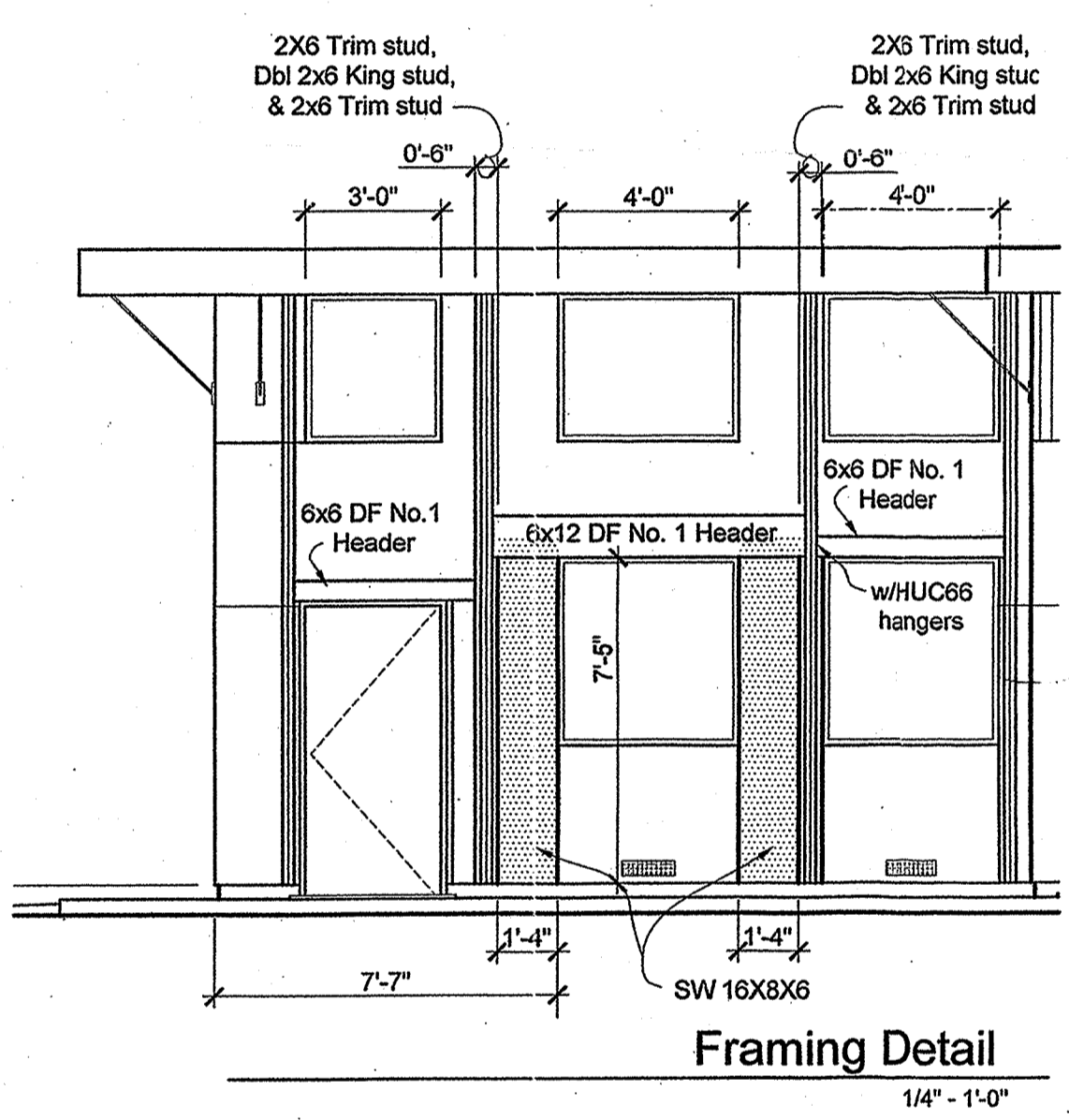
NORTH ELEVATION  
1/4" - 1'-0"



WEST ELEVATION  
1/4" - 1'-0"

SHEARWALL SCHEDULE						
1/2" STRUCTURAL 1 RATED PLYWD SHEATHING <sup>12</sup>						
SYMBOL	TYPICAL WALL SHEATHING EDGE NAILING (T.E.N.)	ANCHOR BOLTS <sup>5,6</sup>	SOLE PLATE		ALLOWABLE SHEAR	
			NAILING	SDS SCREWS		
1	8d's AT 6" OC	5/8" DIA. X 12" LONG BOLTS AT 4'-0" ON CENTER	(3) 16d's EVERY 16" ON CENTER	3/4" DIA. X 3 1/2" SDS SCREWS AT 12" OC	A35 FRAMING CLIPS AT 18" ON CENTER	280 PLF
2	8d's AT 4" OC	5/8" DIA. X 12" LONG BOLTS AT 3'-0" ON CENTER	16d's EVERY 4" ON CENTER	3/4" DIA. X 3 1/2" SDS SCREWS AT 8" OC	A35 FRAMING CLIPS AT 12" ON CENTER	430 PLF
3	8d's AT 3" OC	5/8" DIA. X 12" LONG BOLTS AT 30" ON CENTER	16d's EVERY 3" ON CENTER	3/4" DIA. X 3 1/2" SDS SCREWS AT 6" OC	A35 FRAMING CLIPS AT 9" ON CENTER	550 PLF
Simpson Strongwall	Model # SW16X8X6	Anchor bolt (2)PAB7-24	Allowable shear (lbs) 2,350	Install per manufacturer's specifications		

- NOTES:
- ALL PANEL EDGE SHALL BE BACKED BY 2 INCH NOMINAL OR WIDER FRAMING.
  - WHERE PANELS ARE APPLIED TO BOTH SIDES OF WALL, OFFSET PANEL JOINTS FROM EACH SIDE.
  - USE DOUBLE 2X BOUNDARY MEMBER AT EACH END OF SHEARWALL, U.N.O. ON THE PLANS.
  - ALL BRACED WALL LINES HAVING SHEARWALLS SHALL HAVE A DOUBLE TOP PLATE SPLICED AS SHOWN ON THIS SHEET, OR TIED TO A COLLECTOR MEMBER AS SHOWN ON THE FRAMING PLANS.
  - ALL ANCHOR BOLTS SHALL HAVE A MINIMUM OF A 3"x3"x1/4" PLATE WASHER PER CBC2305.3.11.
  - EXCEPT FOR SHEAR SYMBOL 1, FOUNDATION SILL PLATES AND MEMBERS RECEIVING EDGE NAILING FROM ADJOINING PANELS SHALL BE NOT LESS THAN 3 INCH NOMINAL FRAMING. NAILS SHALL BE STAGGERED.
  - ALL NAILS SHALL BE COMMON NAILS OR HOT DIPPED GALVANIZED BOX NAILS.
  - ALL NAILS INSTALLED INTO PRESERVATIVE TREATED LUMBER SHALL BE HOT DIPPED GALVANIZED OR STAINLESS STEEL DUE TO THE CORROSIVE NATURE OF THIS MATERIAL ON FASTENERS.
  - FRAMING CLIPS PER THIS SCHEDULE ARE ONLY REQUIRED AT LOCATIONS WHERE THE SHEARWALL PLYWD IS INTERRUPTED, IE AT INTERIOR SHEARWALL LOCATIONS WHERE THE SECOND FLOOR FRAMING CAUSES A BREAK IN THE SHEARWALL SHEATHING.
  - VALUES SHOWN ARE FOR 15/32" STRUCTURAL 1 RATED PANELS.



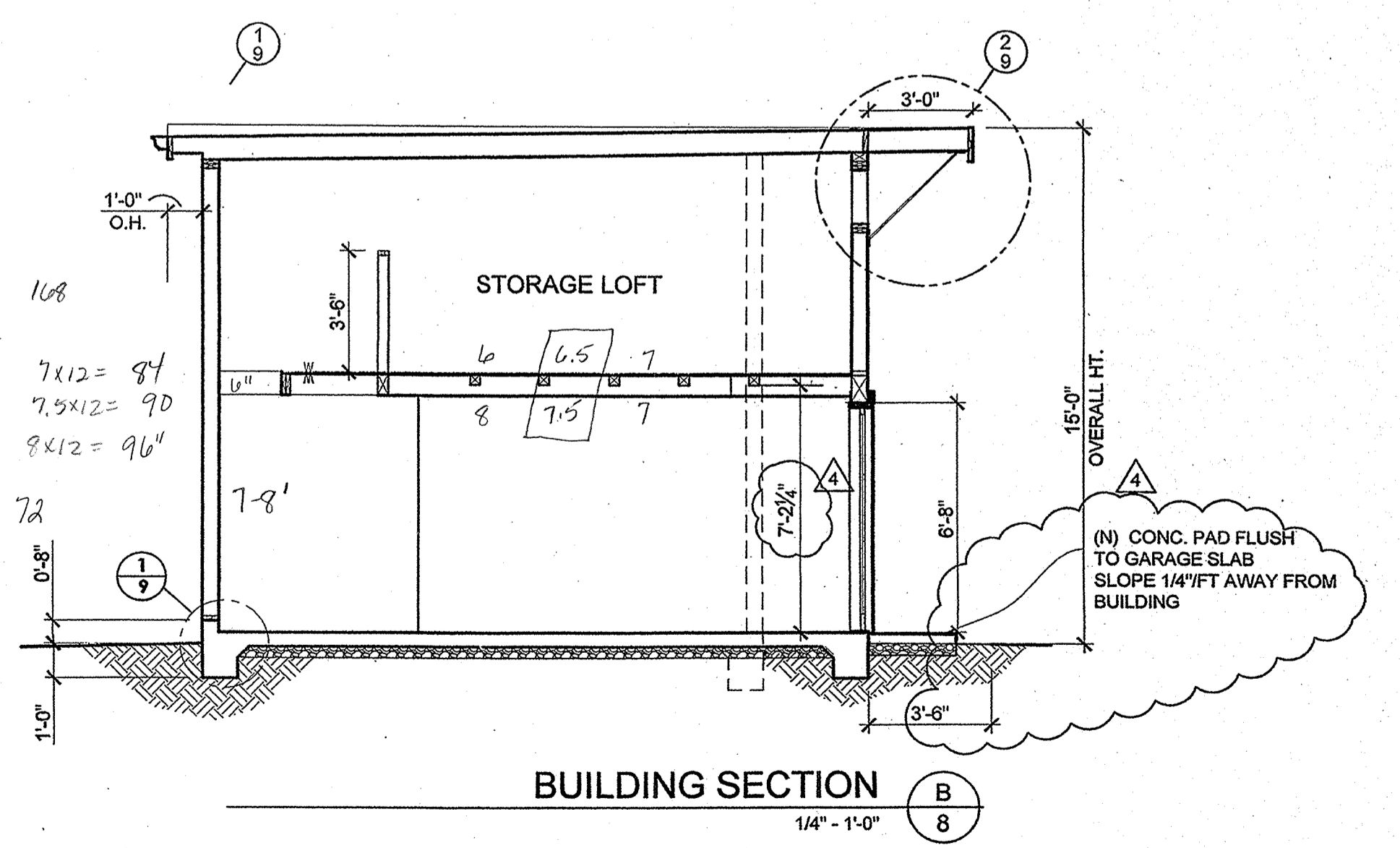
Framing Detail  
1/4" - 1'-0"



SOUTH ELEVATION  
1/4" - 1'-0"

HOLDOWN SCHEDULE				
SYMBOL	SIMPSON HOLDOWN	REFERENCE DETAIL	NOTES	ALLOWABLE LOAD (LBS)
1	A CS16		SECOND FLOOR HOLDOWN STRAP FROM BOUNDARY MEMBER IN WALL ABOVE AND BELOW ALIGNED	1705
	B MST37 STRAP			2710
	C MST48 STRAP			3695
2	A LST24 STRAP		SECOND FLOOR HOLDOWN STRAP FROM SHEARWALL BOUNDARY TO FLOOR FRAMING MEMBER BELOW. FOR TYPE 2D, WELD ALL THREAD ROD TO TOP OF STEEL BEAM BELOW.	1235
	B ST6224 STRAP			2540
	C CS16 STRAP			1705
	D HDU5-SDS2.5			5645
3	A HDU2-SDS2.5		SECOND FLOOR HOLD DOWN DEVICE IN PAIR WITH ALL THREAD ROD BETWEEN FROM SHEAR WALL BOUNDARY MEMBER ABOVE TO SAME BELOW.	3075
	B HDU4-SDS2.5			4565
	C HDU5-SDS2.5			5645
4	A HDU2-SDS2.5		FIRST FLOOR HOLDOWNS WITH SSB ANCHOR BOLT INTO CONCRETE. INSTALL PER MANUF. INSTRUCTIONS	3075
	B HDU4-SDS2.5			4565
	C HDU5-SDS2.5			5645

- NOTES:
- FOR HOLDOWNS AT FOUNDATION, USE SSB OR SB BOLT BY SIMPSON, AS FOLLOWS:
- |         |                     |                 |
|---------|---------------------|-----------------|
| HOLDOWN | STEMWALL FOUNDATION | SLAB FOUNDATION |
| HDU2    | SSTB24              | SSTB16          |
| HDU4    | SB8X24              | SSTB20          |



BUILDING SECTION B  
1/4" - 1'-0"

CSG  
THESE PLANS AND DETAILS ARE APPROVED  
THE APPROVAL OF THESE PLANS SHALL NOT BE CONSTRUED TO BE A PERMIT FOR ANY VIOLATION OF ANY CODE OR ORDINANCE.  
BY *[Signature]*  
DATE 10-13-19  
THESE PLANS SHALL BE ON THE JOB FOR ALL REQUESTED INSPECTIONS.



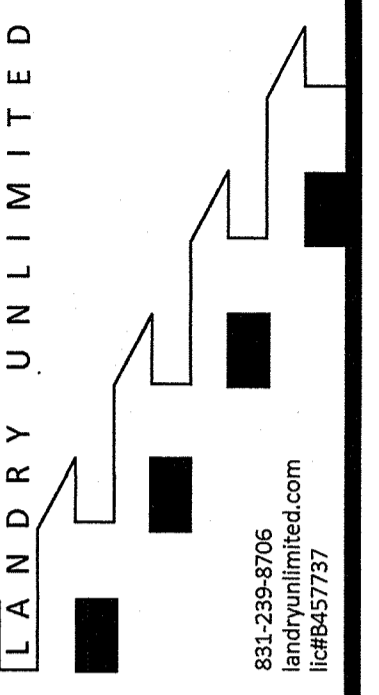
LANDRY UNLIMITED  
650 S. 4TH ST. #200  
SAN ANTONIO, TX 78204  
TEL: 214.547.7373

REVISIONS
CSG 09/25/14

New Garage

STOLL RESIDENTIAL ADDITION  
344 PINE STREET  
SANTA CRUZ, CA 95062  
APN: 010 - 141 - 14

DATE: 8/22/2014



REVISIONS

SITE PLAN & ELEVATIONS

STOLL RESIDENCE ADU  
344 PINE STREET  
SANTA CRUZ, CA 95062  
APN: 010 - 141 -14

DATE: 08/19/16

PROJECT DESCRIPTION:

CONVERT AN EXISTING GARAGE TO AN ADU.

SHEET INDEX

- 1 SITE PLAN W/ EXISTING FLOOR PLAN, ELEVATIONS, PROJECT DATA
- 2 FLOOR PLAN PROPOSED ADU, SECTIONS, CONSTRUCTION DETAILS
- 3 CODE COMPLIANCE

PROJECT DATA:

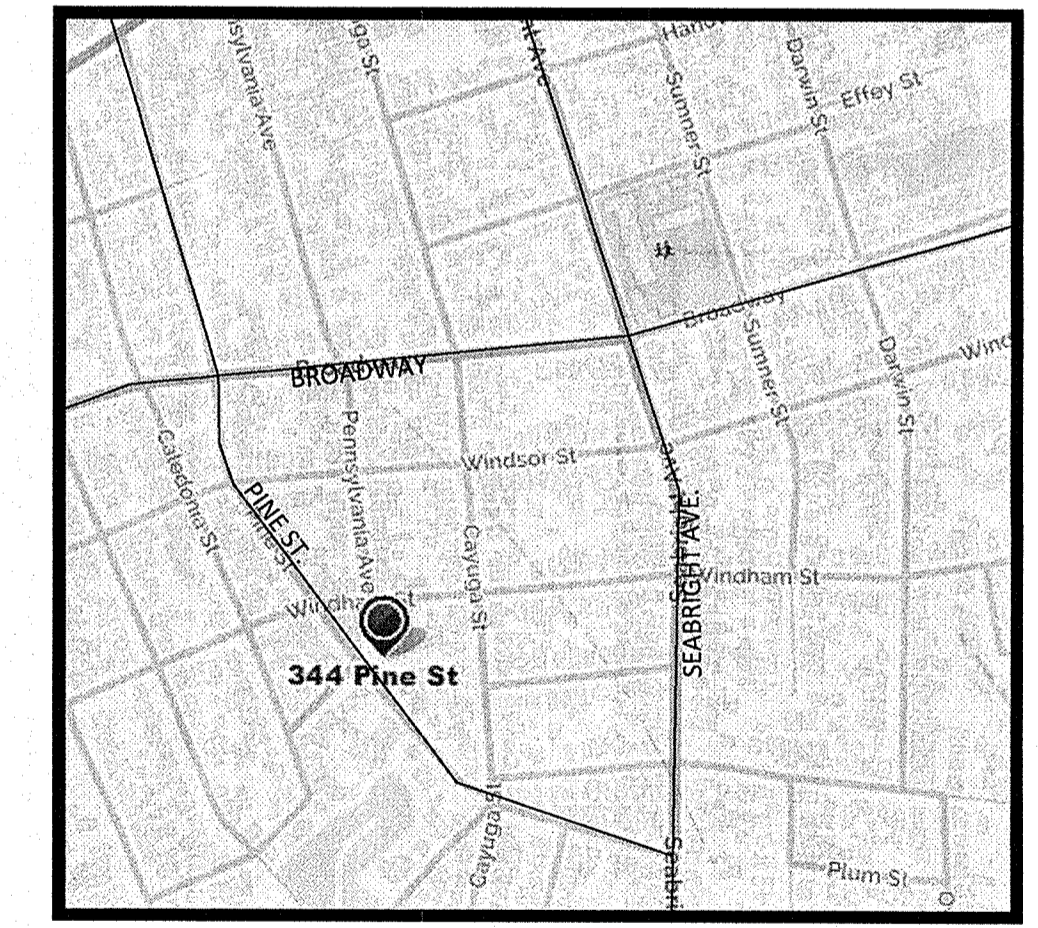
OWNER: NICHOLAS & LORI STOLL,  
 ADDRESS: 344 PINE ST., S.C. CA 95062  
 APN: 010-141-14  
 OCCUPANCY GROUP: R-3 & U  
 TYPE OF CONSTRUCTION: V-B, SPRINKLERED  
 LOT SIZE: 5,402 S.F.  
 EXISTING DWELLING SIZE: 1,357 S.F.  
 EXISTING GARAGE SIZE: 516 S.F. > TOTAL S.F. = 1873  
 PROPOSED ADU: 467 S.F.  
 LOT COVERAGE: 35%  
 REAR YARD COVERAGE: 26%

EXTERIOR MATERIALS

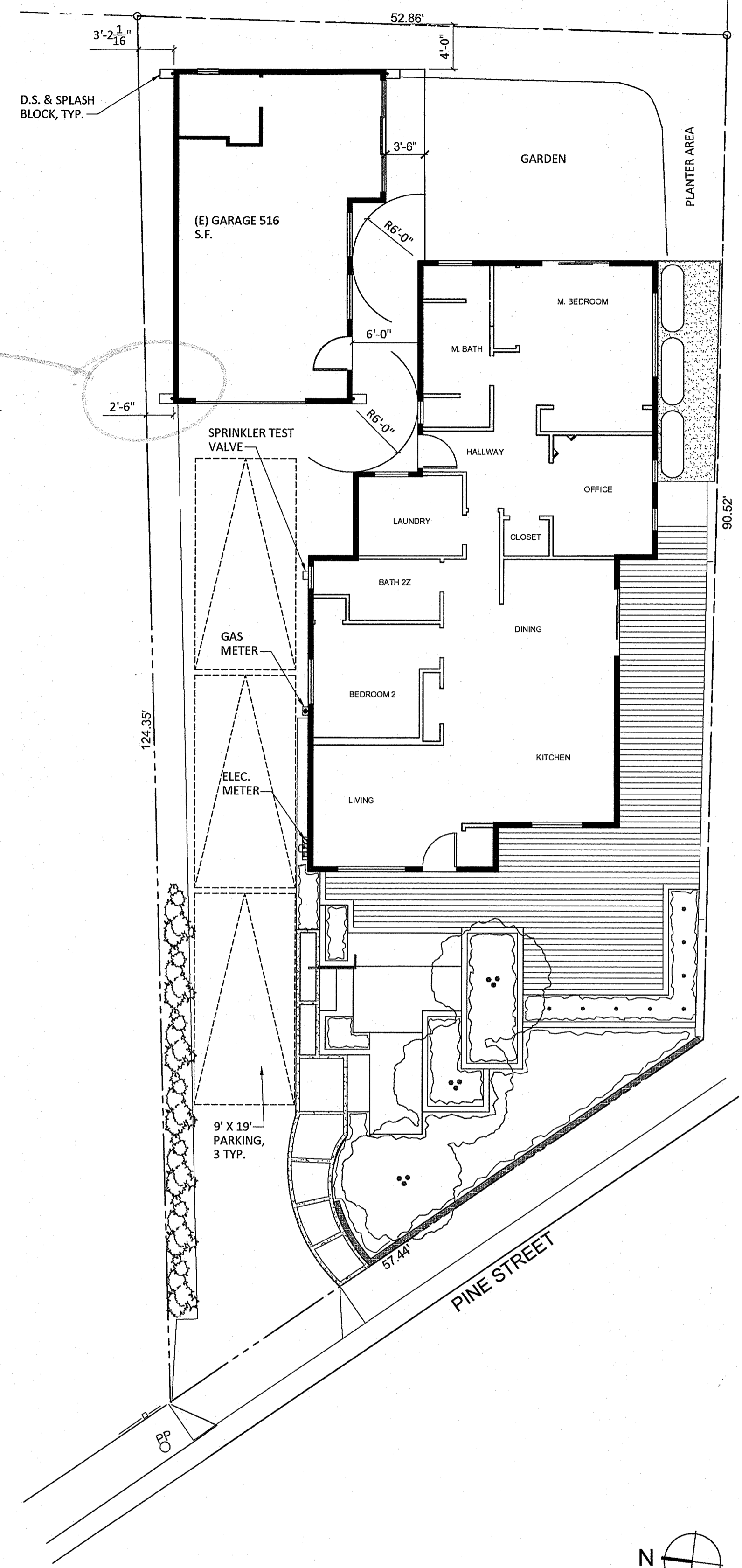
SIDING: STUCCO  
 ROOFING: TPO MEMBRANE CLASS 'A' ROOF

CODE COMPLIANCE:

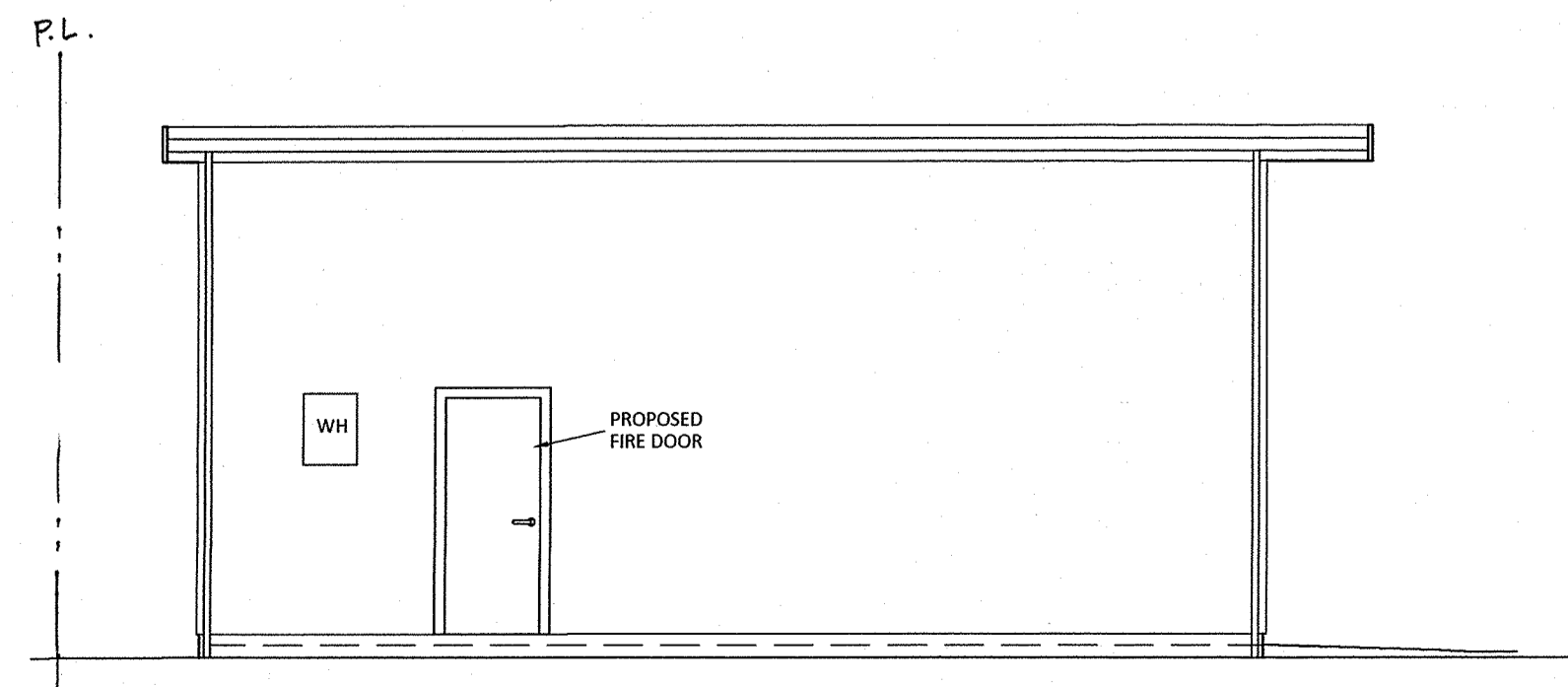
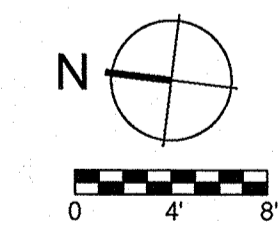
THE FOLLOWING CODES ARE IN EFFECT:  
 2013 CALIFORNIA BUILDING CODE  
 2013 CALIFORNIA PLUMBING CODE  
 2013 CALIFORNIA MECHANICAL CODE  
 2013 CALIFORNIA ELECTRICAL CODE  
 2013 CALIFORNIA ENERGY COMPLIANCE  
 SANTA CRUZ CITY ORDINANCES



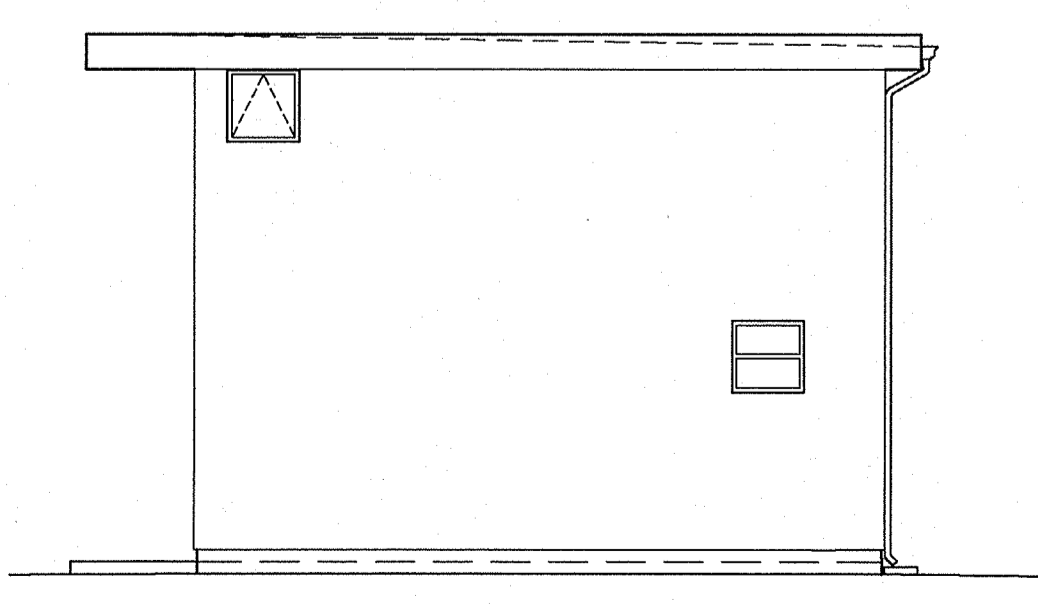
VICINITY MAP  
SCALE: NTS



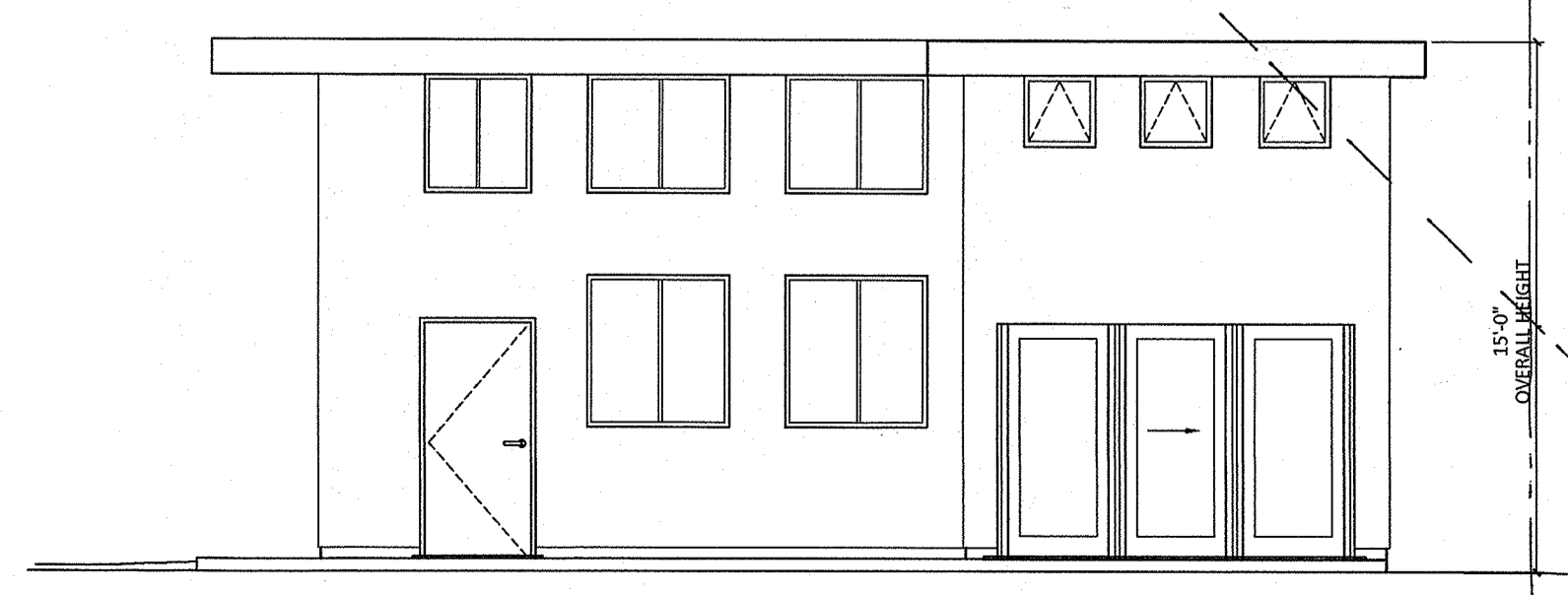
SITE PLAN  
SCALE: 1/8"=1'-0"



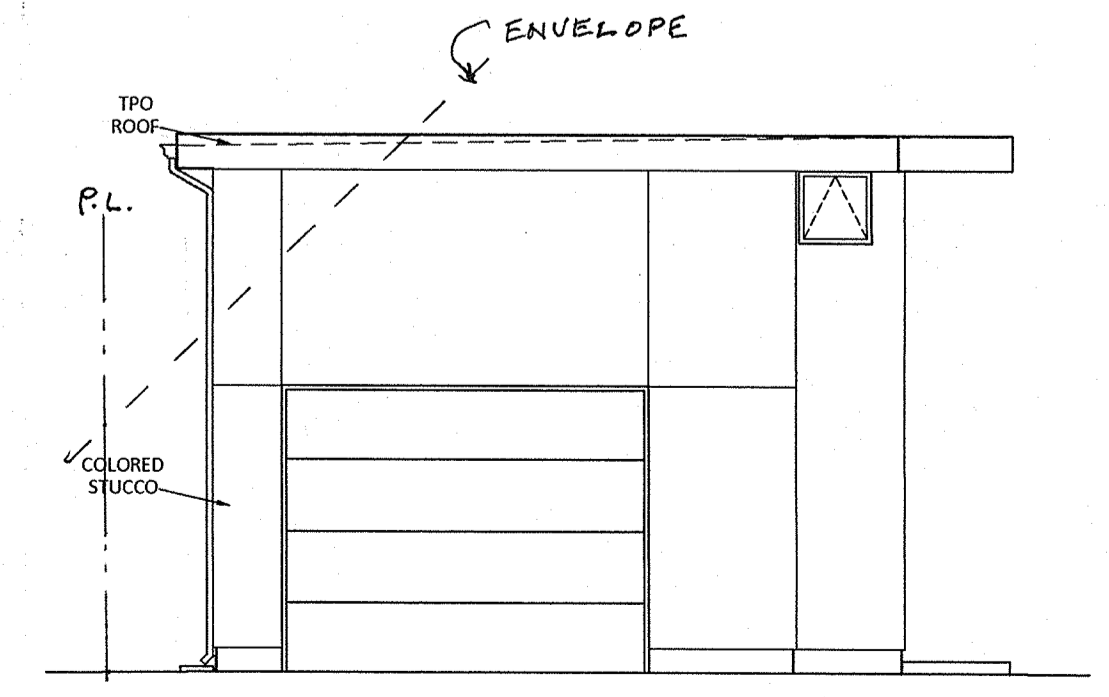
PROPOSED NORTH ELEVATION  
SCALE: 3/16"=1'-0", TYP.



EAST ELEVATION  
SCALE: 3/16"=1'-0", TYP.



SOUTH ELEVATION  
SCALE: 3/16"=1'-0", TYP.



WEST ELEVATION - FRONT  
SCALE: 3/16"=1'-0", TYP.



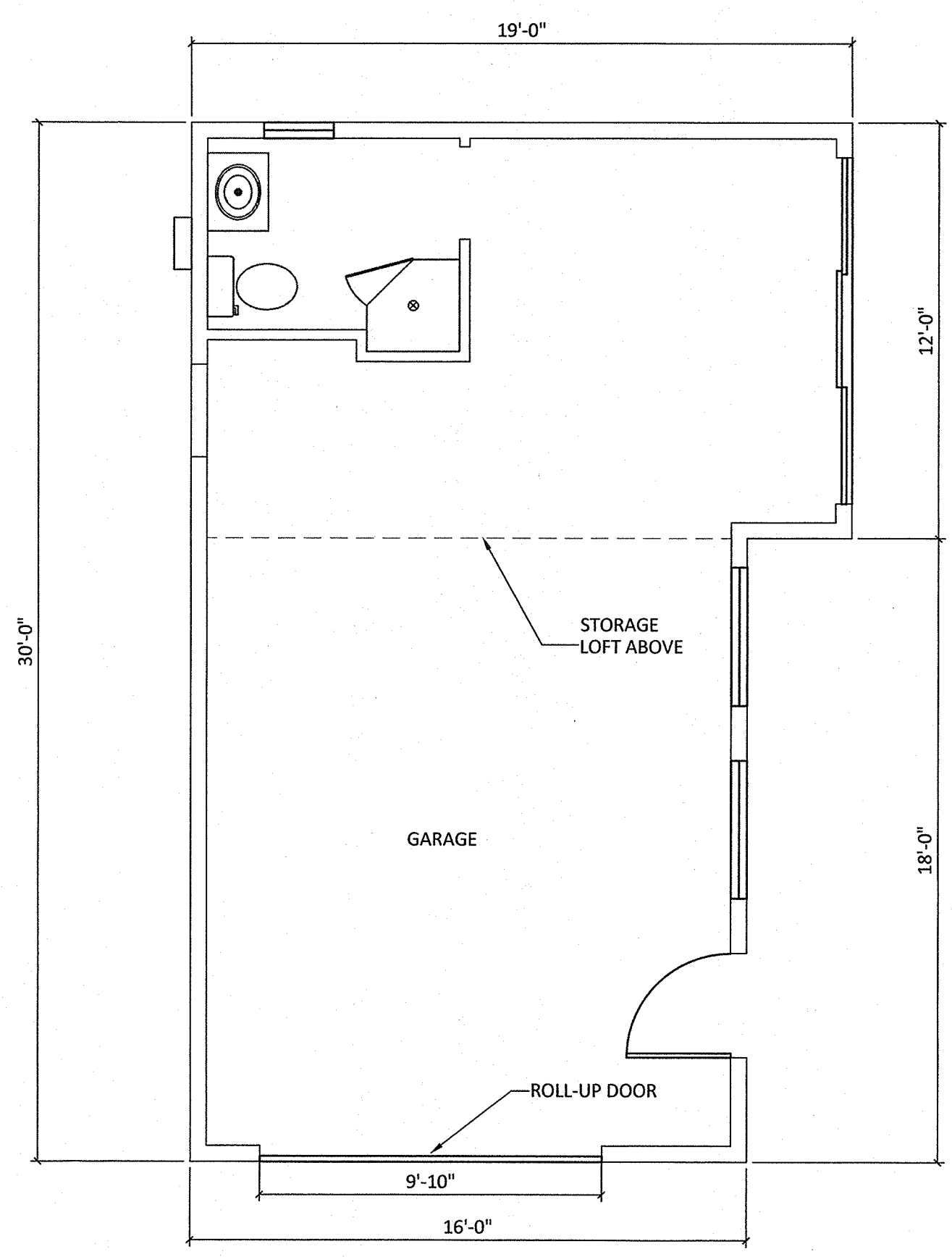
LANDRY UNLIMITED  
831.238.8706  
landryunlimited.com  
lic#EAS7737

REVISIONS

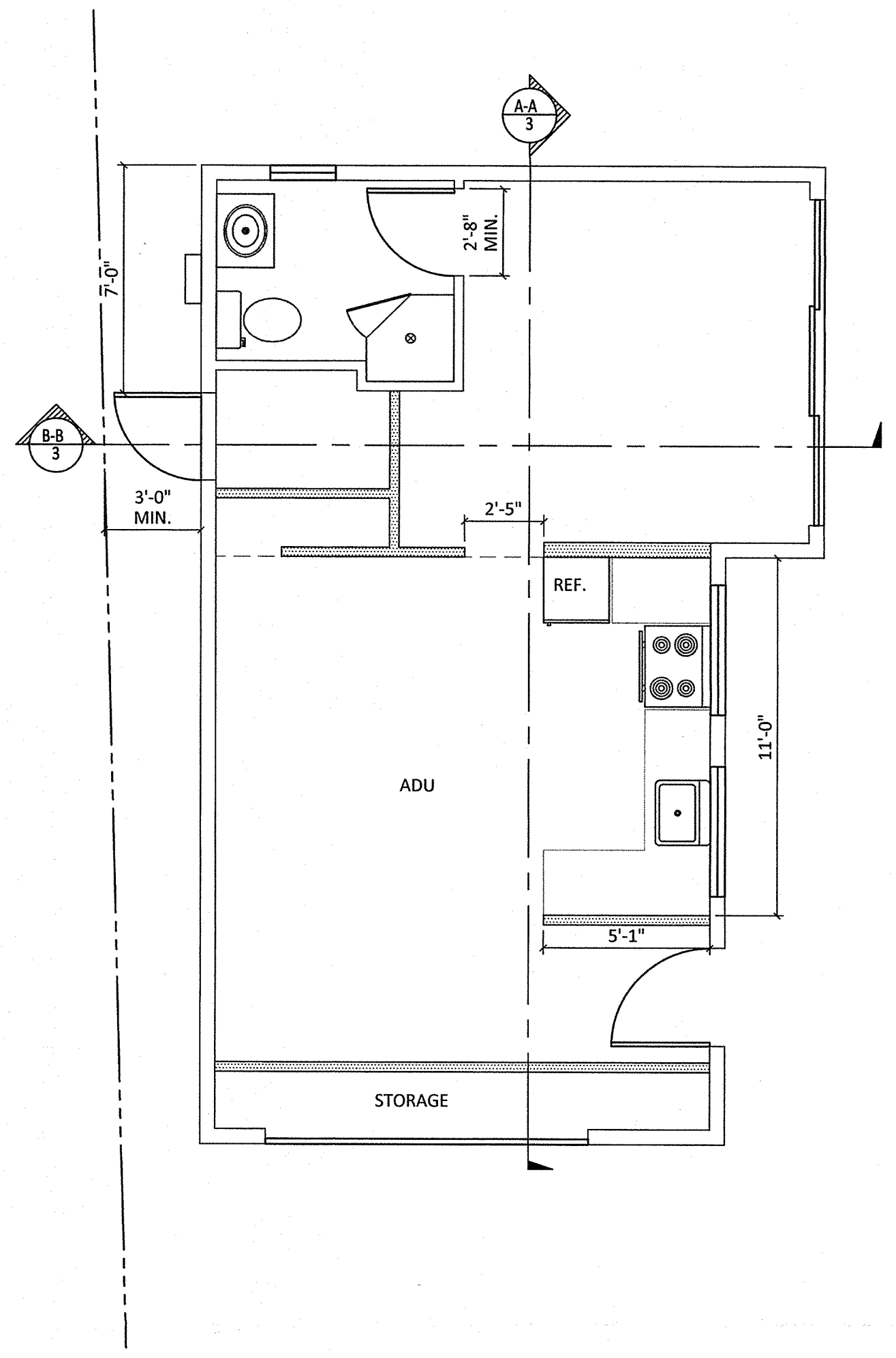
(E) GARAGE & (N) ADU PLANS & SECTIONS

STOLL RESIDENCE ADU  
344 PINE STREET  
SANTA CRUZ, CA 95062  
APN: 010 - 141 -14

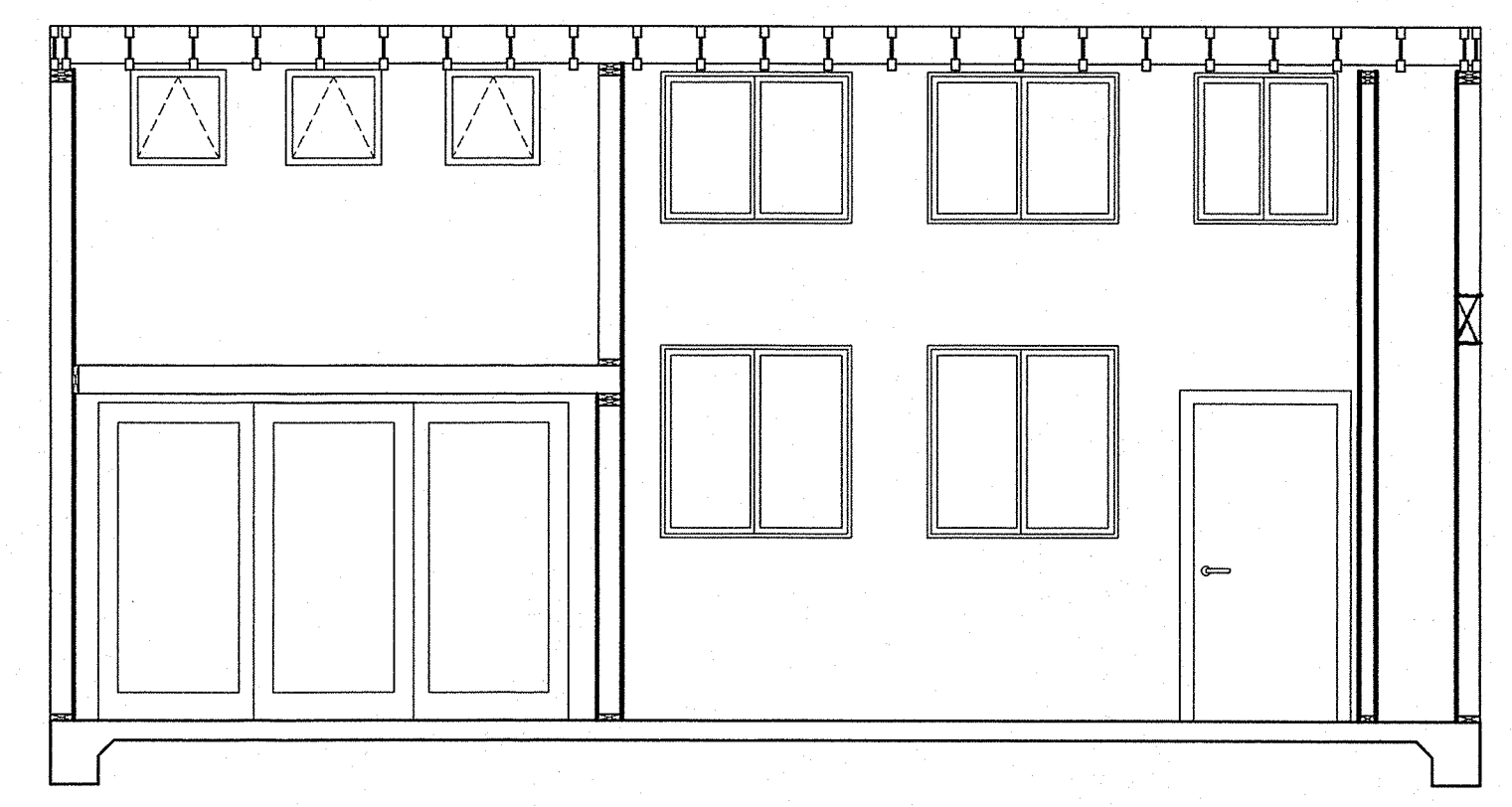
DATE: 08/19/16



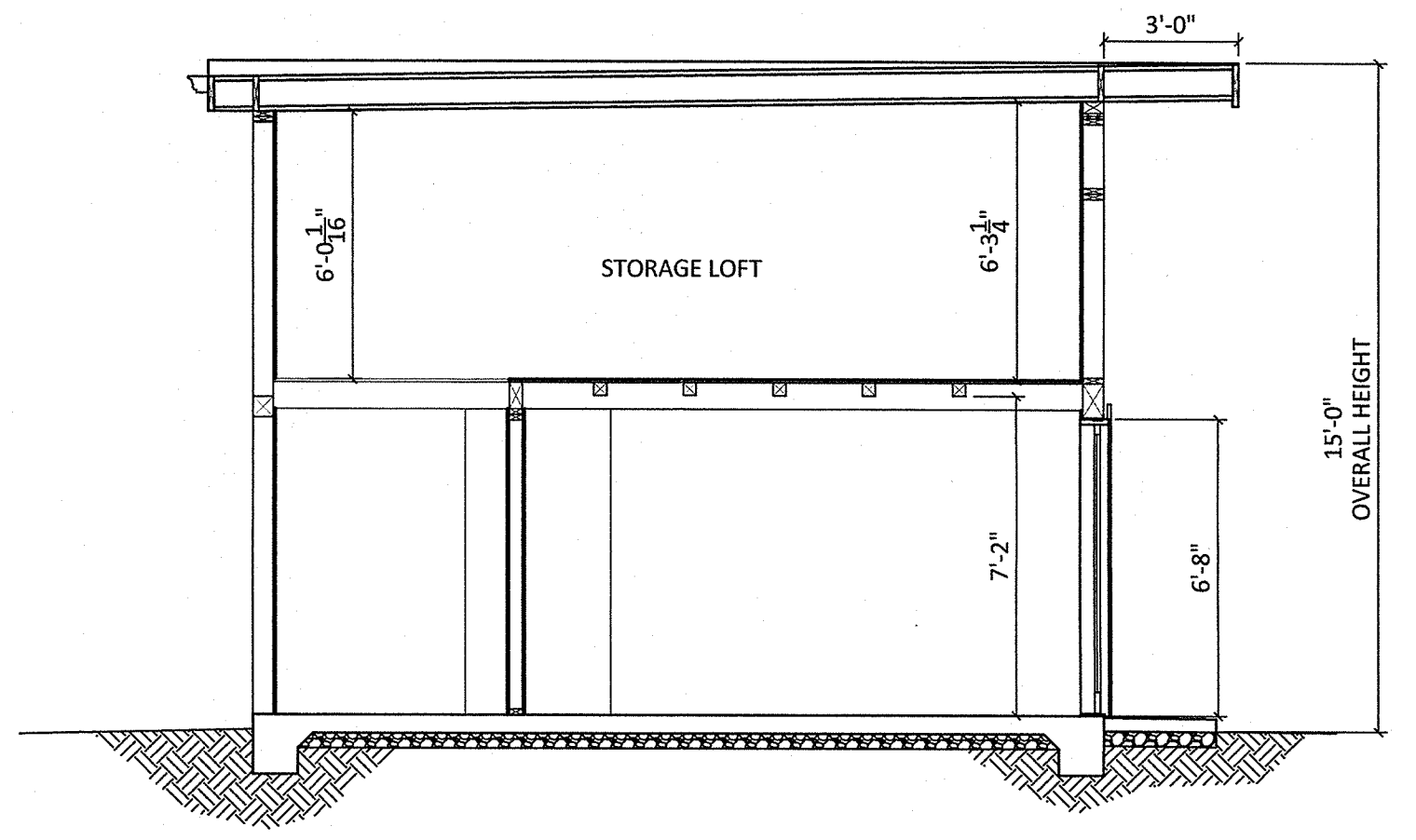
(E) GARAGE PLAN  
SCALE: 1/4"=1'-0", TYP.



PROPOSED ADU 467 S.F.  
SCALE: 1/4"=1'-0", TYP.



BUILDING SECTION A-A  
SCALE: 1/4"=1'-0", TYP.



BUILDING SECTION B-B  
SCALE: 1/4"=1'-0", TYP.